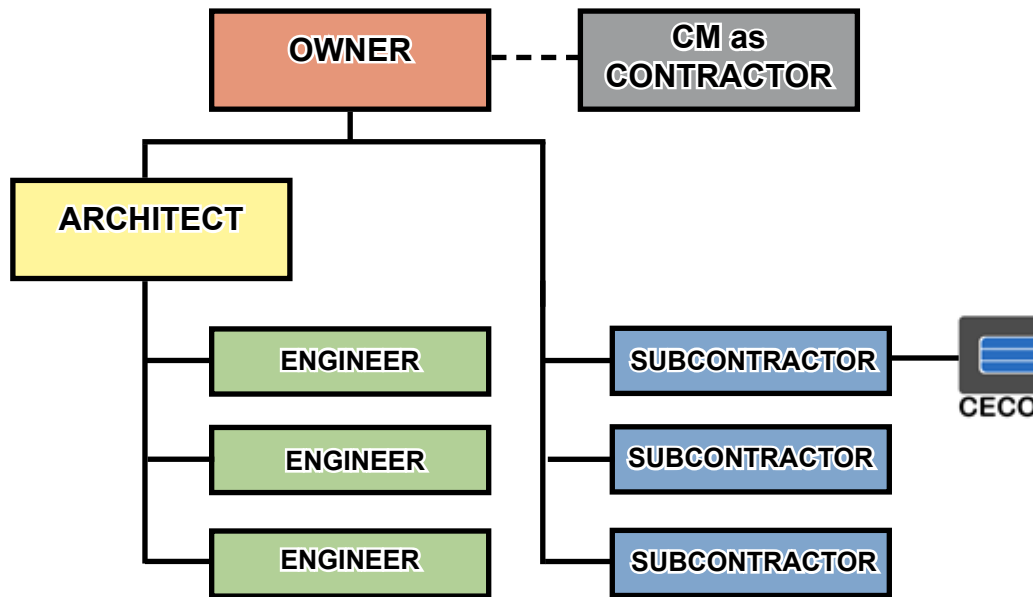


# CM - MULTIPLE PRIME

## Characteristics

- Owner holds contracts for architect, general contractor, and all subcontractors
- Linear design
- Construction Manager (CM) chosen on qualifications



## Advantages

- Owner retains control of design
- Contractor / CM is involved early in the process
- Combine fast-track delivery with lowest bids
- This system can result in lower cost to the owner because it avoids the compounded profit and overhead margins that are common to the single contract method
- This method permits the owner to divide the work into smaller packages, allowing more firms to bid for the work
- This increased competition may result in lower prices

## Disadvantages

- The owner is responsible for changes
- This method can create overlap and gaps in scope
- Subcontractor involvement is late in the process
- Owner is exposed to the CM's lack of proper execution / performance
- As the construction cost estimator, more time and expense may be required in receiving separate bids or negotiating separate contracts and coordinating work
- The lines of responsibility and accountability under multiple contracts is less clear than a single contract system
- When late or defective work is the issue, a contractor may claim that another contractor caused the problem