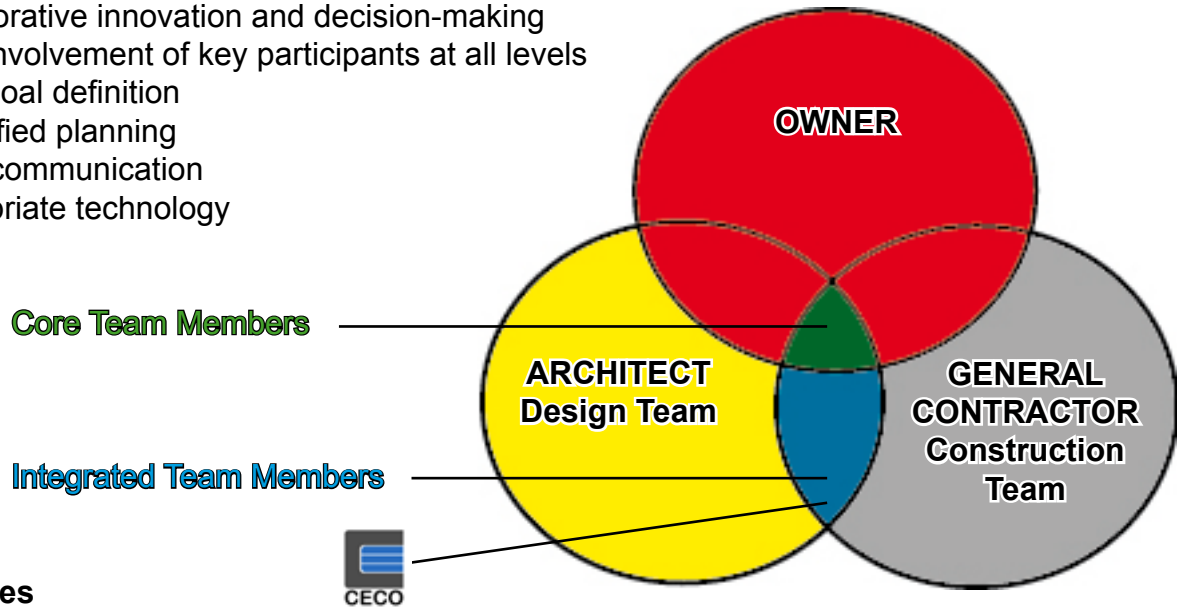


Integrated Project Delivery (IPD)

Characteristics

- Aligns interests, objectives and practices through a team-based approach
- Mutual respect and trust
- Mutual benefit and reward
- Collaborative innovation and decision-making
- Early involvement of key participants at all levels
- Early goal definition
- Intensified planning
- Open communication
- Appropriate technology



Advantages

- Architect and contractor act as one firm, with key subcontractors as early part of team
- Experts in design and construction contribute to ALL phases of the project
- Delivery relationship changes from adversarial to collaborative
- Complete continuity of preferences and objectives throughout design and construction
- Win-win process whose economics encourage participation by quality firms
- Collaboration in design phase leads to innovation and reduced cost of 10-20% below DBB
- Delivery of project within budget (lump sum or GMP) with reduced likelihood of cost increases or overruns, and fast-tracking without losing control
- No need for a cumbersome bidding or RFP process, but typically “open books” for trades
- Avoidance of “lowball bidding” where the Contractor wins the project by bidding below actual cost, counting on change orders and claims to make a profit
- Improved and more efficient administration of construction due to absence of adversity between the architect and contractor
- Single point responsibility for the project, with the project team accepting responsibility for functional problems without the owner having to adjudicate finger-pointing among project participants
- Works very well with the integration of BIM and third party verification of sustainable building goals

Disadvantages

- Need for key team members to be BIM compatible for best results
- Contracts can be difficult
- Requires a great deal of trust which can be difficult for some owners and project partners